

**APPENDIX A-C
IS CONFIDENTIAL
IN ITS ENTIRETY**

**20 CSR 4240-
2.135 (2)(A)(3) and (6)**

APPENDIX B

VERIFICATION OF AUTHORITY

COMES NOW the undersigned, the President of Confluence Rivers Utility Operating Company, Inc. ("Confluence Rivers"), Elm Hills Utility Operating Company, Inc. ("Elm Hills") and Central States Water Resources, Inc. ("CSWR"), and does hereby verify that Confluence Rivers, Elm Hills, and CSWR had and have the requisite authority to enter into the Agreements referenced herein concerning Terre Du Lac Utilities Corporation, Branson Cedars Resort Utility Company, LLC, Fawn Lake Water Corp., Freeman Hills Subdivision Assoc., P.A.G. LLC, d/b/a Prairie Heights Water Company, and the sewer system located in DeGuire Subdivision owned by Mr. Mark Edgar, and to carry out all the obligations contained in those Agreements.

IN WITNESS WHEREOF, the undersigned has hereto set his hand the 20th day of February 2020.



Josiah Cox, President
CONFLUENCE RIVERS UTILITY OPERATING
COMPANY, INC., ELM HILLS UTILITY OPERATING
COMPANY, INC., and CENTRAL STATES WATER
RESOURCES, INC.

State of Missouri)
) ss
County of St. Louis)

On this 20th day of February 2020, before me the undersigned, a Notary Public, in and for the County and State aforesaid, personally appeared Josiah Cox, to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he executed the same as his free act and deed.

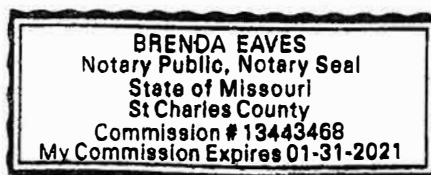
IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.



Notary Public

My Commission Expires:

01/31/2021



**APPENDIX C-C
IS CONFIDENTIAL
IN ITS ENTIRETY**

**20 CSR 4240-
2.135 (2)(A)(3) and (6)**

**APPENDIX D-C
IS CONFIDENTIAL
IN ITS ENTIRETY**

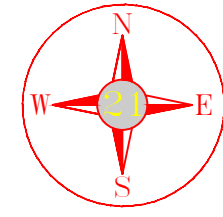
**20 CSR 4240-
2.135 (2)(A)(3) and (6)**

Fawn Lake Service Area Description:

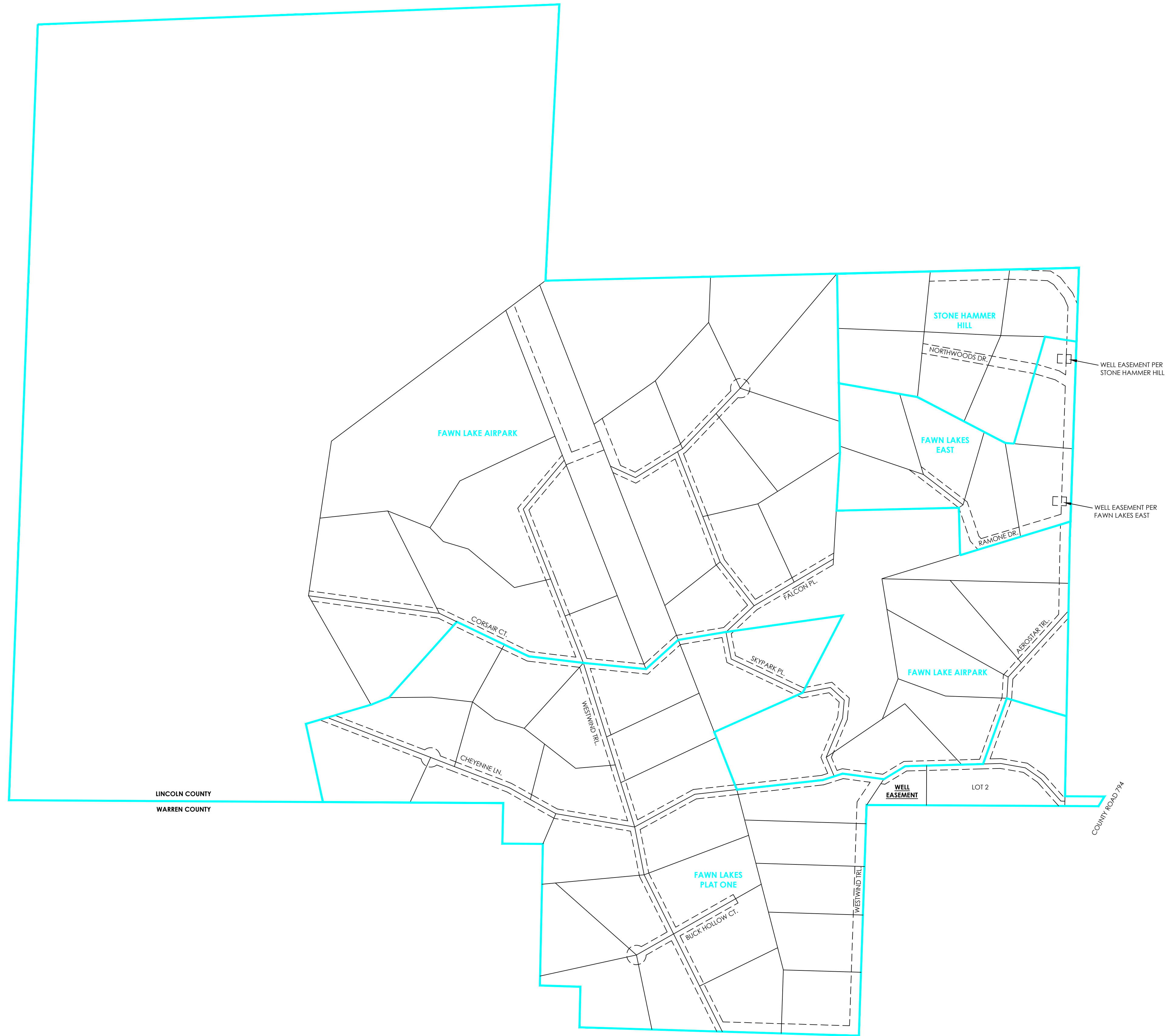
The area serviced is part of Lincoln County and Warren County, Missouri and is more particularly described as follows:

Beginning at the southwest corner of Lot 44 of Fawn Lake Airpark; thence N2°08'00"E 3994.60 feet to the northwest corner of Lot 44 of Fawn Lake Airpark; thence N87°48'00"E 2686.08 feet; thence S2°53'00"W 1423.35 feet; thence N88°37'00"E 2746.76 feet; thence S1°56'30"W 1384.93 feet; thence S1°04'00"W 1335.46 feet; thence S89°40'00"E 203.16 feet; thence S31°54'30"W 58.69 feet; thence N89°40'00"W 173.07 feet; thence N89°43'00"W 1020.13 feet; thence S1°55'00"W 1188.11 feet; thence N88°16'00"W 1438.54 feet; thence N1°14'00"E 208.81 feet; thence N88°16'00"W 208.71 feet; thence N1°14'00"E 728.96 feet; thence N89°40'00"W 208.71 feet; thence N1°14'00"E 208.71 feet; thence N89°40'00"W 2544.11 feet to the point of beginning.

PRELIMINARY SERVICE AREA MAP FOR FAWN LAKE (v1) LINCOLN & WARREN COUNTY, MO



0 300' 600'
SCALE: 1" = 300'



MAP LEGEND

EASEMENT PER RECORDED PLAT	---
LOT LINE	---
SUBDIVISION OUTLINE	---

Utility Note Disclaimer:

The utilities shown hereon are depicted based on the original design plans provided by the system manager. 21 Design Group, Inc performed no field verification of the layout and are unable to determine the exact location at this time. The location represents approximate location only and should not be construed as being 100% accurate. It is shown to provide general layout of the system only and should not be used to interpret encroachments.

Appendix F

SURVEY CERTIFICATE OF AUTHORITY NO. LS-2013008264
ENGINEERING CERTIFICATE OF AUTHORITY NO. E-2013005879

DATE:	7/16/19
PROJECT NO:	0580-19
DRAWN BY:	J.P.P.
SCALE:	1"=300'
SHEET NAME:	
SERVICE AREA MAP	

21
DESIGN
GROUP INC.
ENGINEERING & SURVEYING

1351 Jefferson, Suite 301
Washington, MO 63090
mail@21designgroup.net
P: 636-432-5029

**APPENDIX G-C
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IN ITS ENTIRETY**

20 CSR 4240-2.135 (2)(A)(1)

**APPENDIX H-C
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IN ITS ENTIRETY**

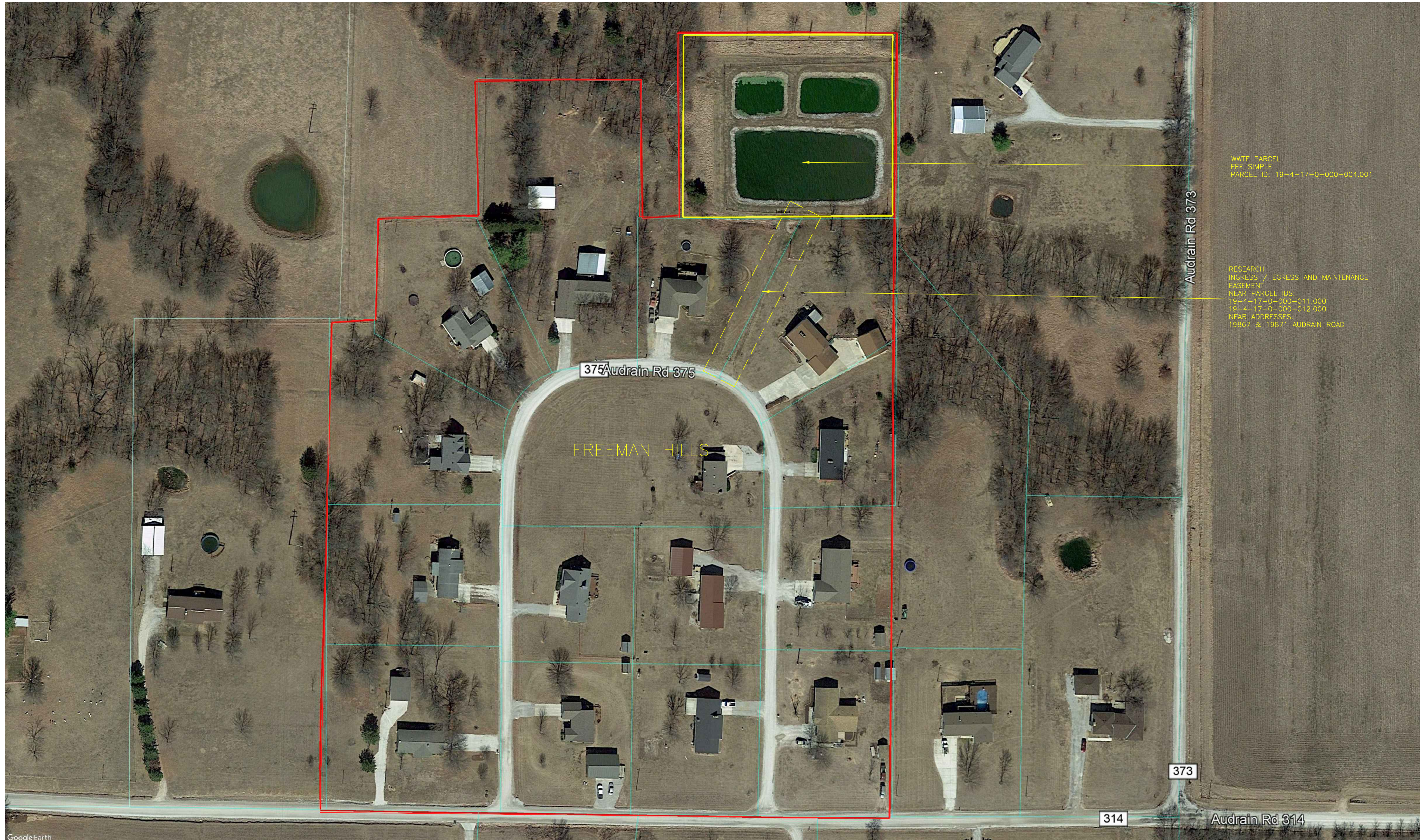
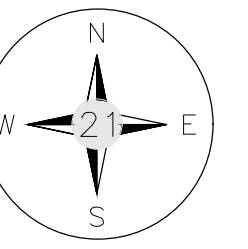
**20 CSR 4240-
2.135 (2)(A)(3) and (6)**

Freeman Hills Service Area Description:

The area served is part of Audrain County, Missouri and is more particularly described as follows:

Beginning at the southeast corner of Lot 10 of Freeman Hills Subdivision; thence $N88^{\circ}34'00''W$ 772.35 feet; thence $N2^{\circ}15'00''E$ 644.38 feet; thence $S87^{\circ}45'00''E$ 61.70 feet; thence $N2^{\circ}15'00''E$ 131.50 feet; thence $S88^{\circ}34'00''E$ 135.00 feet; thence $N2^{\circ}15'00''E$ 197.19 feet; thence $S87^{\circ}45'00''E$ 220.51 feet; thence $S2^{\circ}15'00''W$ 194.05 feet; thence $S88^{\circ}34'00''E$ 56.42 feet; thence $N2^{\circ}15'00''E$ 255.67 feet; thence $S87^{\circ}45'00''E$ 299.02 feet; thence $S2^{\circ}15'00''W$ 251.41 feet to the northeast corner of Lot 7 of Freeman Hills Subdivision; thence $S2^{\circ}16'35''W$ 775.00 feet to the point of beginning.

**ROUGH SERVICE AREA MAP
FREEMAN HILLS - SITE ID TBD
(WASTEWATER)
MEXICO, MO**



Google Earth

Utility Note Disclaimer:

The service area shown hereon are depicted based on the service area map provided by the system manager. 21 Design Group, Inc performed no field verification of the layout and are unable to determine the exact location at this time. The location represents approximate location only and should not be construed as being 100% accurate. It is shown to provide general service area of the system to assist with ordering title work and preparation of scope for a License Land Surveyor. This sketch should not be used to interpret encroachments.

DATE:	10/24/19
PROJECT NO:	0596-19
DRAWN BY:	B.J.K.
SCALE:	
SHEET NAME:	SERVICE AREA MAP



1351 Jefferson, Suite 301
Washington, MO 63090
mail@21designgroup.net
P: 636-432-5029

**APPENDIX K-C
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20 CSR 4240-2.135 (2)(A)(1)

**APPENDIX L-C
IS CONFIDENTIAL
IN ITS ENTIRETY**

**20 CSR 4240-
2.135 (2)(A)(3) and (6)**

Polk County, Missouri

PRAIRIE HEIGHTS

A SUBDIVISION IN POLK COUNTY, MISSOURI

The plat of PRAIRIE HEIGHTS comprises the following:

A part of the Northwest Quarter of the Northwest Quarter of Section Twentyfour (24), Township Thirty-three North (33N), Range Twenty-three West (23W), more particularly described as: Beginning at the Southeast corner of the Northwest Quarter of the Northwest Quarter of Section Twentyfour (24), thence West along the south line of said forty (40) acre tract 1311.4 feet to a point 15.0 feet east of the Southwest corner of said forty (40) acre tract, thence North, on an interior angle of 89°42', 1273.8 feet, said line being parallel to and 15.0 feet east of the west line of said forty (40) acre tract, to the southerly right of way line of Missouri State Highway No. 13, thence South 61 degrees 38 minutes East along said right of way line 1486.3 feet to the east line of said forty (40) acre tract, thence South, on an interior angle of 128°04', along said east line 567.5 feet to the point of beginning, containing 27.72 acres.

Said land has been subdivided as shown on this plat, herewith filed, the width and length of lots are marked in feet and tenths of feet. Thoroughfares as shown and named are dedicated to the public. Utility Easements as shown are granted.

IN WITNESS WHEREOF, we, A. Stewart Gardner and Neva Charlene Gardner, husband and wife, have hereunto subscribed our names this 2nd day of July 1971.

A. Stewart Gardner
Neva Charlene Gardner

ACKNOWLEDGMENT

STATE OF MISSOURI } ss
COUNTY OF POLK }

On this 2nd day of July, 1971, before me personally appeared A. Stewart Gardner and Neva Charlene Gardner, husband and wife, to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal at my office in Bolivar, Missouri, the day and year first above written.

My term of office as a Notary Public will expire September 5, 1973,

Earl L. Shull
Notary Public within and for the County of Polk, State of Missouri

SURVEYOR'S CERTIFICATE

I certify that I surveyed the tract as shown on this plat and subdivided the same. Iron pins have been set at all lot corners.

John W. Reynolds
John W. Reynolds
Registered Surveyor
Bolivar, Missouri

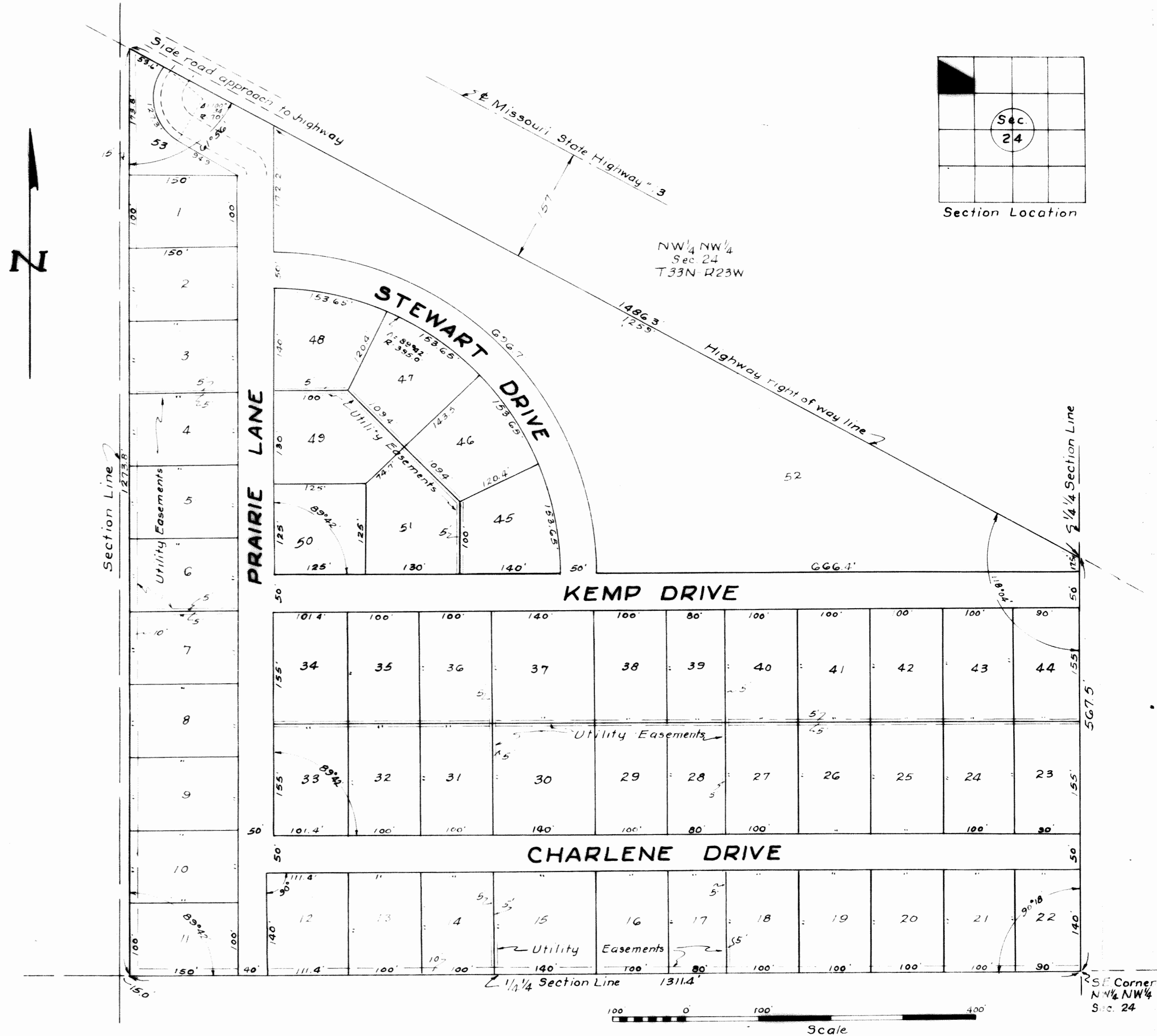
1961

I, Jesse Welch, Recorder of said County do hereby certify that the within instrument of writing was on the 2nd day of July 1971 A.D. at 1 o'clock 20 min. P.M. duly filed for record and is recorded in the records of the office in book 3 at page 23.

IN TESTIMONY WHEREOF I have set my hand and affixed my official seal at Bolivar, Missouri this 2nd day of July 1971 A.D.

Jesse Welch
Recorder

Jewell Callaway
Deputy



PRAIRIE HEIGHTS

A SUBDIVISION IN POLK COUNTY, MISSOURI

The plat of Prairie Heights comprises the following:

A part of the Northwest Quarter of the Northeast Quarter of Section Twentyfour (24) Township Thirtythree North (33) Range Twentywest (20W), more particularly described as beginning at the southeast corner of the Northwest Quarter of the Northeast Quarter of Section Twentyfour (24) Township Thirtythree North (33) Range Twentywest (20W) and going south along the western line of said quarter (60 feet) to the intersection of the center line of a road (60 feet) and then north on the center line of said road (60 feet) to the intersection of the center line of a road (60 feet) and then south along the center line of said road (60 feet) to the intersection of the center line of a road (60 feet) and then west along the center line of said road (60 feet) to the point of beginning, containing 0.72 acres.

This land has been subdivided as shown on this plat. All other lots, the width and length of lots and sections in this plat being as shown. The boundaries as shown and named are dedicated to the public. The dedication is shown in green.

IN WITNESS WHEREOF, we, Arthur Gardner and Nora Charlene Gardner, husband and wife, have hereunto subscribed our names this 2nd day of July, 1918.

ACKNOWLEDGMENT

STATE OF MISSOURI }
COUNTY OF POLK }

I, Arthur Gardner, do hereby certify that the above described premises are the property of Arthur Gardner and Nora Charlene Gardner, husband and wife, and that they are the legal owners thereof.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal at my office in Dallas, Missouri, this 2nd day of July, 1918.

SURVEYOR'S CERTIFICATE

I hereby certify that I surveyed the tract as shown on this plat and subdivided the same. The plat has been filed in my office.

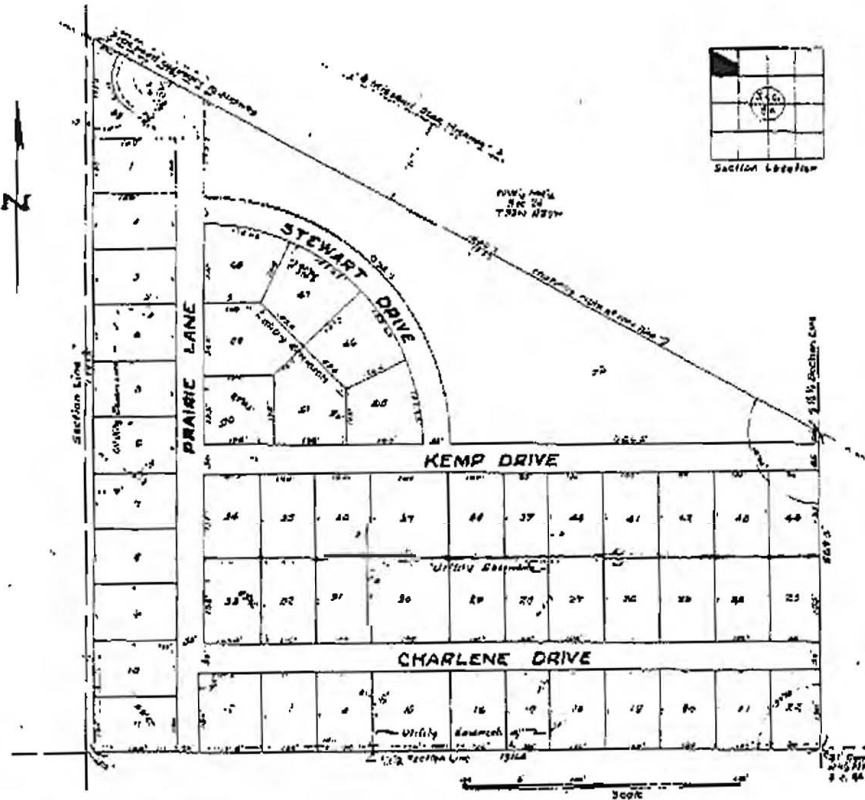
John W. Gardner
Surveyor
Polk County, Missouri

1918

I, John W. Gardner, Recorder of said County, do hereby certify that the within instrument of writing was on the 2nd day of July, 1918, filed in the records of the office of the Recorder of said County, Missouri, and that the same has been recorded in the records of the office of the Recorder of said County, Missouri.

IN TESTIMONY WHEREOF, I have set my hand and affixed my official seal of said County, Missouri, this 2nd day of July, 1918.

John W. Gardner
Recorder



R E S T R I C T I O N S

The undersigned, A. Stewart & Neva Charlene Gardner, developers of the Prairie Heights Subdivision with principal office at Route #1, Bolivar, Missouri, being the owner of all of the hereinafter described property, does hereby create, impose and place upon all of the following lots in Prairie Heights, a subdivision in Polk County, Missouri, to-wit:

All of the lots, same being numbered one through thirteen and fifteen through fifty-one in Prairie Heights, a subdivision in Polk County, Missouri, according to the recorded plat thereof,

the following reservations, conditions and covenants, any and all of which are hereby termed "RESTRICTIONS"; all of said restrictions are made jointly and severally for the benefit of and shall be binding upon the present title holders to said lands, as well as all other persons, firms, or corporations, who from time to time own, hold, lease, rent or purchase said lands, or any part thereof, and their respective heirs, assigns, and successors, said restrictions to operate as covenants running with said lands into whosoever hands they or any part of them shall come; and same are hereby made and declared to be easements and cross easements in fee and annexed to said lands, and this shall be so even if said restrictions are omitted from any deed or instrument of conveyance of said lands, or any part thereof; said restrictions shall be construed independently and in the event that any of them shall be declared void and for any reason unenforceable, the validity and binding effect of any other of said restrictions shall not be hereby impaired or affected; said restrictions shall not be so construed that the waiver or failure to enforce any breach of any restriction shall be considered as waiving the necessity for the observance of the right of enforcement of any subsequent breach of the same or other of said restrictions; said restrictions shall be enforceable by injunction, mandamus or other proceedings at law or in equity against any present or future party or parties infringing, violating, attempting to infringe or violate, or omitting to abide by said restrictions, and in addition thereto any present or future owner or owners, occupant or occupants, of said lands or any part thereof, may recover damages for the breach, infringement or violation of any such restrictions:

(1) No lot shall be used except for residential purposes. Not more than one (1) dwelling house shall be constructed on any one lot and each dwelling house shall be designed for and used as the residence of only one (1) family.

(2) No building shall be erected, placed or altered on any lot until construction plans and specifications and a plot plan showing the location of the structure have been approved by the developers of Prairie Heights subdivision as to quality of workmanship and materials, harmony of exterior design with existing structures, and as to location with respect to building setback lines, topography and finish grade elevation. No fence or wall shall be erected, placed or altered on any lot nearer to any street than the minimum building setback line (40').

(3) No dwelling, or any other building, shall be erected closer than 40' from street property line. The foundations of walls of residential buildings, including porches, paved terraces, attached garages or carports, shall not be built closer than seven and one-half (7.5) feet from the side property lines, except corner lots where the restriction is and shall be that no building wall or foundation shall be constructed closer than twelve and one-half (12.5) feet from the side street. On each lot there shall be a rear yard having a depth of not less than twenty-five (25) feet on which no building or structure shall be erected. An attractive storage building not over 150 sq. ft. of floor space or over 7' high will be permitted.

(4) On no lot shall there be erected any residence or dwelling containing less than 1,800 square feet of enclosed floor area, (this may include a double, attached garage).

(5) No old house or other building shall be moved and placed upon any lot.

(6) No structure of a temporary character, trailer, basement, tent, shack, garage, barn or other outbuilding shall be used on any lot at any time either temporarily or permanently, provided that the prohibition shall not apply to temporary facilities, employed by a contractor during residential construction thereon, which are not used for living purposes.

(7) No noxious, or offensive, activity shall be carried on upon any lot, nor shall anything be done thereon which may be or may become a nuisance to the neighborhood.

(8) Easements for installation and maintenance of utilities and drainage facilities are reserved as shown on the recorded plat of Prairie Heights, a subdivision in Polk County, Missouri; and, the developers and the SOUTHWEST ELECTRIC CO-OPERATIVE have a permanent easement for installation and maintenance of same.

(9) No animals, livestock or poultry of any kind shall be raised, bred, or kept on any lot, except that dogs, cats or other household pets may be kept, provided that they are not kept, bred or maintained for any commercial purpose.

(10) No sign of any kind shall be displayed to the public view on any lot except one (1) professional sign of not more than one (1) square foot, one (1) sign of not more than five (5) square feet advertising the property for sale or rent, or signs used by a builder to advertise the property during the construction and sale period.

(11) No basketball goal shall be placed on the front or side of any residence, garage or carport and neither shall any basketball goal be placed or erected at any place in a front or side yard.

(12) No truck larger than a pickup truck shall be permitted to remain in this subdivision longer than the necessary time required for the loading and unloading of its cargo.

(13) The lawns and yards of all lots in this subdivision shall be maintained in a neat and clean condition with the grass being properly mowed at all times.

(14) These restrictions and covenants are to run with the land and shall be binding on all parties and all persons claiming under them for a period of twenty-five (25) years from the date these restrictions are recorded, after which time said restrictions shall be automatically extended for successive periods of ten (10) years, unless an instrument signed by a majority of the then owners of the lots covered by these restrictions has been recorded, agreeing to change said restrictions in whole or in part.

IN WITNESS WHEREOF, the undersigned, A. Stewart and Neva Charlene Gardner, has caused these presents to be signed this 1st day of February 1972.

Neva Charlene Gardner
Neva Charlene Gardner

A. Stewart Gardner
A. Stewart Gardner

STATE OF MISSOURI
COUNTY OF POLK

On this 1st day of February 1972, before me appeared A. Stewart and Neva Charlene Gardner, to me personally known, who being by me duly sworn, did say that they are the owners and developers of Prairie Heights subdivision and signing of said instrument to be their free act and deed.

In WITNESS WHEREOF, I have hereunto set my hand and affixed my notarial seal the day and year last above written.

Commission Expires: Sept. 5, 1973

Earl L. Shell
Earl L. Shell
Notary Public

335

STATE OF TEXAS
COUNTY OF ... IN THE RECORDER'S OFFICE

Know all men by these presents that the undersigned, the ... of ... County, Texas, do hereby certify that the ... of ... County, Texas, ...

Witness my hand and seal of office this ... day of ... A.D. 19...
George W. ...
Recorder

Polk County, Missouri

PRAIRIE HEIGHTS, FIRST ADDITION

A SUBDIVISION IN POLK COUNTY, MISSOURI

The plat of PRAIRIE HEIGHTS, FIRST ADDITION, comprises the following:

A part of the Northeast Quarter of the Northwest Quarter of Section Twentyfour (24), Township Thirtythree (33) North, Range Twentythree (23) West, more particularly described as: Beginning at the Southwest corner of said Northeast Quarter of the Northwest Quarter of Section Twentyfour, said corner being also the Southeast corner of PRAIRIE HEIGHTS, Original Plat, thence North 56.75 feet along the west line of said forty (40) acre tract to the southerly right of way line of Missouri State Highway No. 13, said also being the Northeast corner of PRAIRIE HEIGHTS Original Plat, thence South 61 degrees 38 minutes East 1199.0 feet along said right of way line to the south line of said forty (40) acre tract, thence West 1059.1 feet along said south line to the point of beginning; containing 13.73 acres.

Said land has been subdivided as shown on this plat, herewith filed, the width and length of lots are marked in feet and tenths of feet. Thoroughfares as shown and named are dedicated to the public. Park areas, as shown, are dedicated to the use of property owners in this subdivision. Utility easements as needed are reserved.

IN WITNESS WHEREOF, we, A Stewart Gardner and Neva Charlene Gardner, husband and wife, have hereunto subscribed our names this ____ day of _____ 1972

ACKNOWLEDGMENT

STATE OF MISSOURI)
) ss
 COUNTY OF POLK)

On this _____ day of _____, 1972, before me personally appeared A. Stewart Gardner and Neva Charlene Gardner, husband and wife, to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal at my office in Bolivar, Missouri, the day and year first above written.

My term of office as a Notary Public will expire _____

John W. Reynolds
 Notary Public within and for
 the County of Polk, State of Missouri

SURVEYORS CERTIFICATE

I certify that I surveyed the tract as shown on this plat and subdivided the same. Iron pins have been set at all lot corners.

John W. Reynolds
 John W. Reynolds
 Registered Land Surveyor No 1297

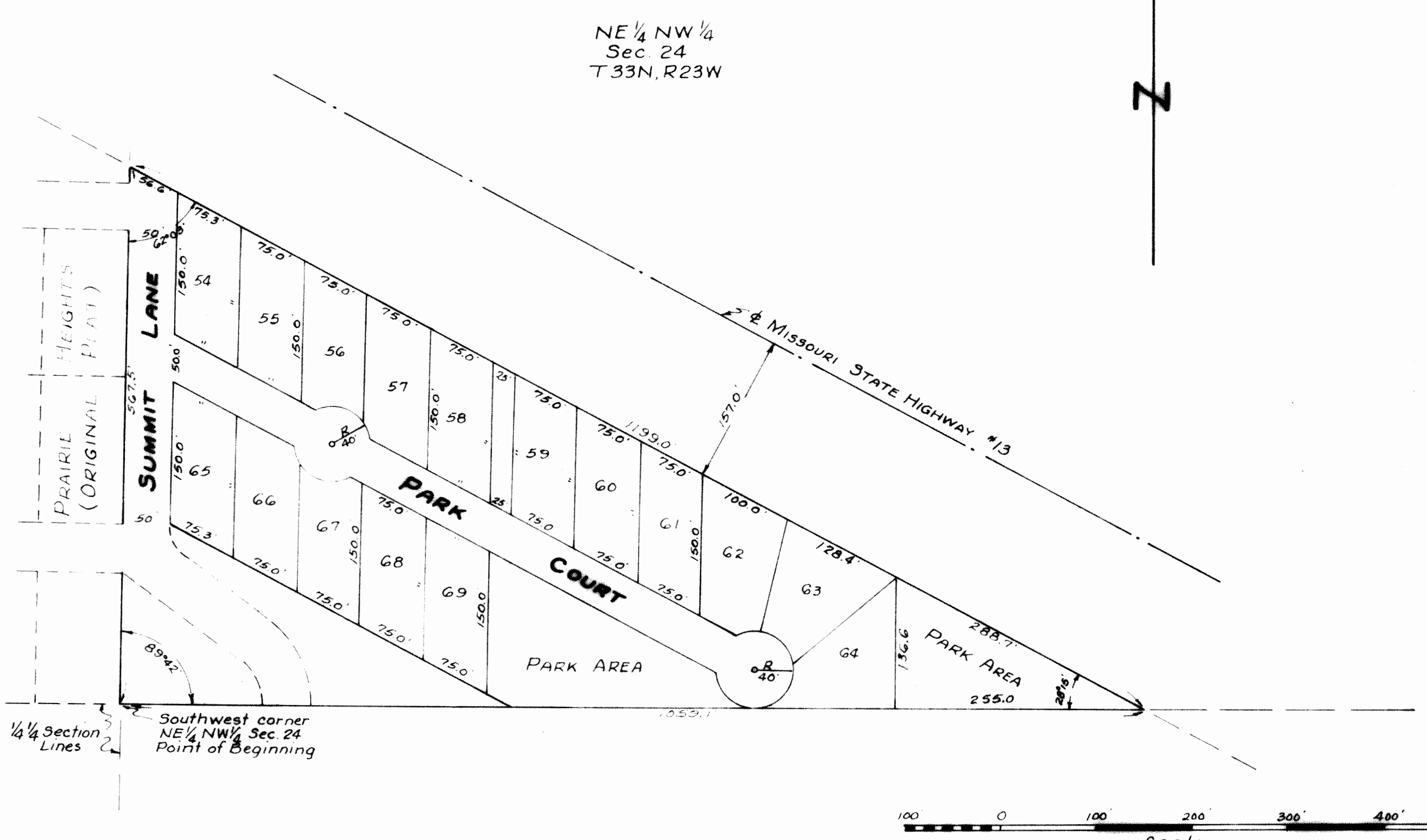
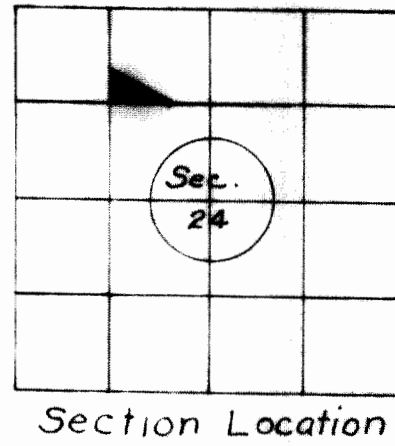
1519

I, Jesse Welch, Recorder of said County do hereby certify that the within instrument of writing was on the 28 day of April, 1972 A.D. at 2 o'clock 45 min. P.M. duly filed for record and is recorded in the records of the office in book 3 at page 32.

IN TESTIMONY WHEREOF I have set my hand and affixed my official seal at Bolivar, Missouri this 28 day of April, 1972, A.D.

Jesse Welch
 Recorder

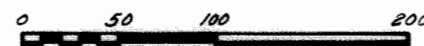
Jewell Callaway
 Deputy



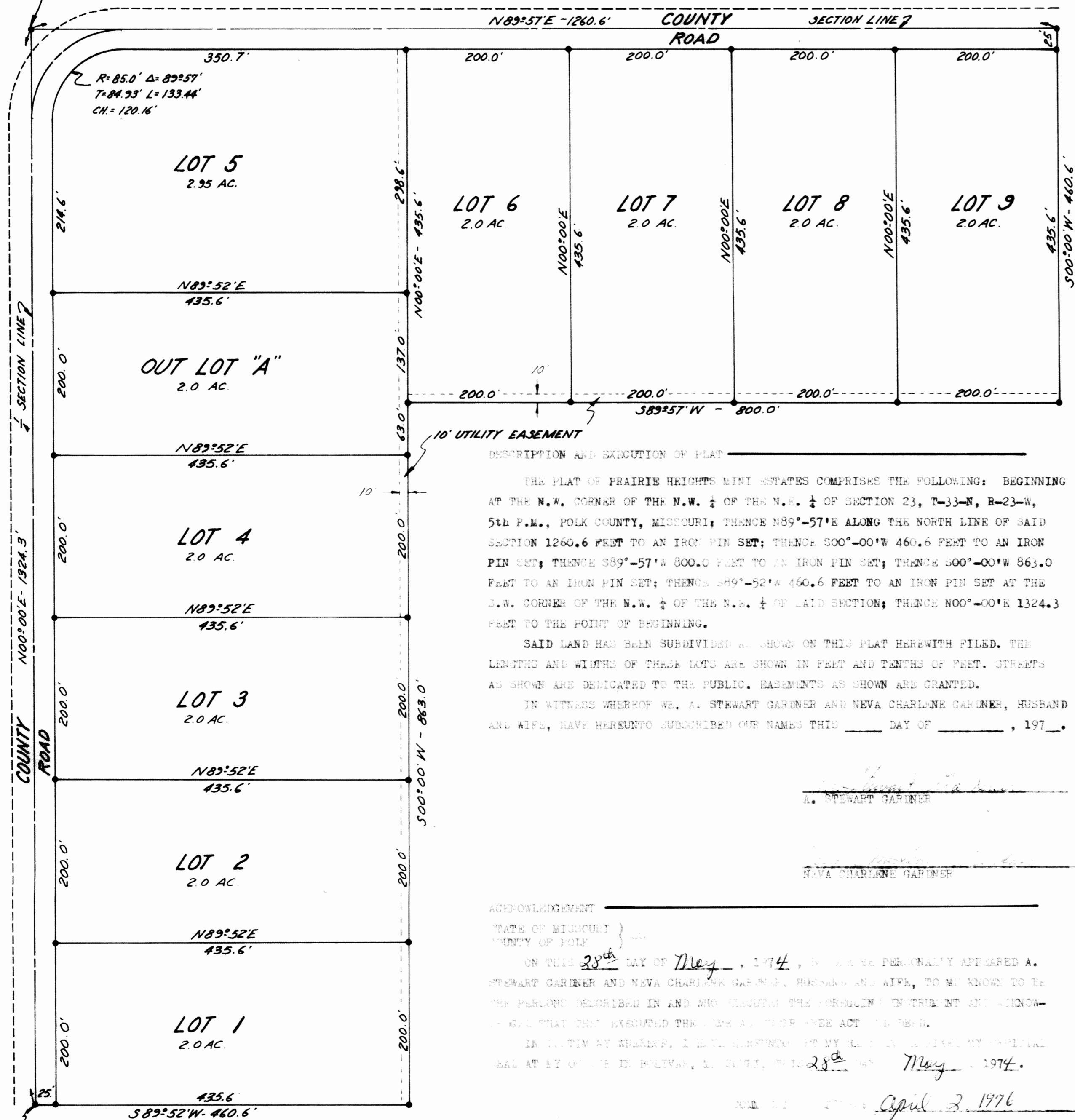
Polk County, Missouri PRAIRIE HEIGHTS MINI ESTATES

A SUBDIVISION IN POLK COUNTY, MISSOURI

SCALE: 1" = 100'



N.W. CORNER N.W. 1/4 N.E. 1/4 SECTION 23, T-33-N, R-23-W



COUNTY ROAD N00°00'E - 1924.3'

DESCRIPTION AND EXECUTION OF PLAT

THE PLAT OF PRAIRIE HEIGHTS MINI ESTATES COMPRISES THE FOLLOWING: BEGINNING AT THE N.W. CORNER OF THE N.W. 1/4 OF THE N.E. 1/4 OF SECTION 23, T-33-N, R-23-W, 5th P.M., POLK COUNTY, MISSOURI; THENCE N89°-57'E ALONG THE NORTH LINE OF SAID SECTION 1260.6 FEET TO AN IRON PIN SET; THENCE S00°-00'W 460.6 FEET TO AN IRON PIN SET; THENCE S89°-57'W 800.0 FEET TO AN IRON PIN SET; THENCE S00°-00'W 863.0 FEET TO AN IRON PIN SET; THENCE S89°-52'W 460.6 FEET TO AN IRON PIN SET AT THE S.W. CORNER OF THE N.W. 1/4 OF THE N.E. 1/4 OF SAID SECTION; THENCE N00°-00'E 1324.3 FEET TO THE POINT OF BEGINNING.

SAID LAND HAS BEEN SUBDIVIDED AS SHOWN ON THIS PLAT HEREWITH FILED. THE LENGTHS AND WIDTHS OF THESE LOTS ARE SHOWN IN FEET AND TENTHS OF FEET. STREETS AS SHOWN ARE DEDICATED TO THE PUBLIC. EASEMENTS AS SHOWN ARE GRANTED.

IN WITNESS WHEREOF WE, A. STEWART GARDNER AND NEVA CHARLENE GARDNER, HUSBAND AND WIFE, HAVE HEREUNTO SUBSCRIBED OUR NAMES THIS _____ DAY OF _____, 197__.

A. Stewart Gardner
A. STEWART GARDNER

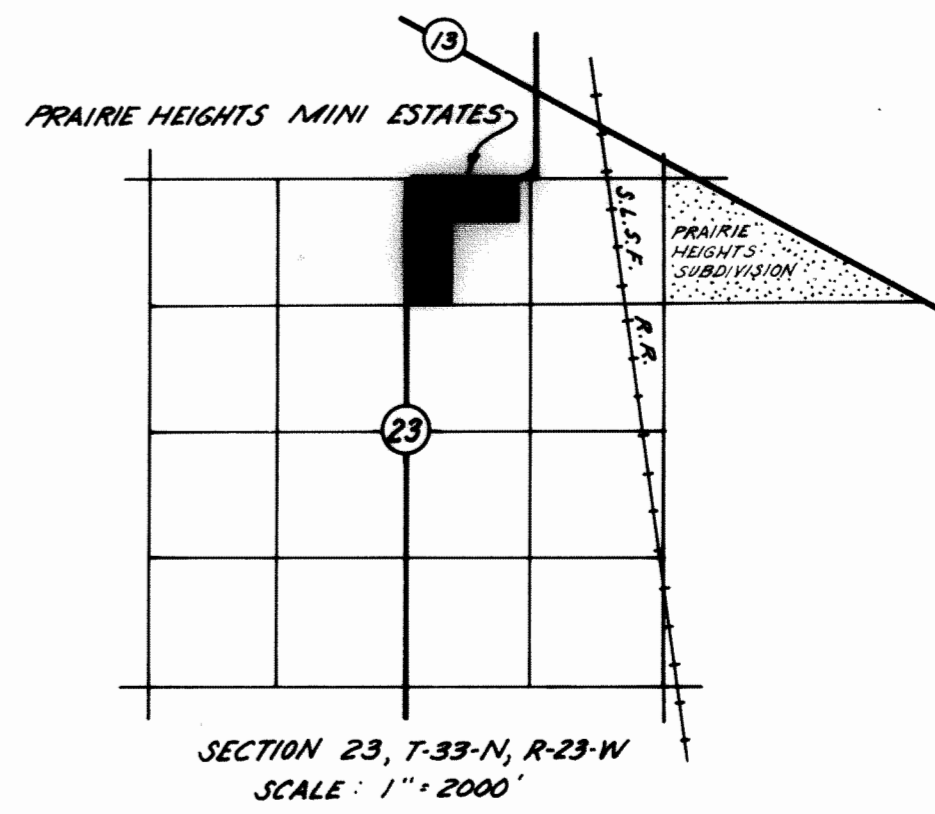
Neva Charlene Gardner
NEVA CHARLENE GARDNER

ACKNOWLEDGEMENT

STATE OF MISSOURI)
COUNTY OF POLK)
ON THIS 28th DAY OF May, 1974, I, _____ PERSONALLY APPEARED A. STEWART GARDNER AND NEVA CHARLENE GARDNER, HUSBAND AND WIFE, TO ME KNOWN TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED.
IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL AT MY OFFICE IN BOLIVAR, MISSOURI, THIS 28th DAY OF May, 1974.

NOTARIAL PUBLIC
APRIL 2, 1976
Martha P. Lauer
MARSHA P. LAUER
NOTARY PUBLIC
POLK COUNTY, MISSOURI

S.W. CORNER N.W. 1/4 N.E. 1/4 SECTION 23, T-33-N, R-23-W



RESTRICTIONS

1. NO LOT SHALL BE SUBDIVIDED INTO SMALLER LOTS.
2. THESE LOTS ARE RESTRICTED TO RESIDENTIAL USES ONLY AND NO COMMERCIAL ESTABLISHMENTS ARE ALLOWED.
3. HOUSES AND ATTACHED GARAGES ARE LIMITED TO A MINIMUM OF 1800 SQUARE FEET OF COMBINED AREA.
4. NO MOBILE HOMES ARE ALLOWED.

1401

IN THE RECORDER'S OFFICE
I, Jesse Welsh, RECORDER OF SAID COUNTY, DO HEREBY CERTIFY, THAT THE WITHIN INSTRUMENT OF WRITING WAS ON THE 28 DAY OF May, 1974 A.D., AT 8 O'CLOCK — MINUTES, A.M. DULY FILED FOR RECORD AND IS RECORDED IN THE RECORDS OF THIS OFFICE IN BOOK 3 AT PAGE 53.

IN TESTIMONY WHEREOF I HAVE HEREUNTO SET MY HAND AND AFFIXED MY SEAL AT BOLIVAR, MISSOURI, THIS 28 DAY OF May, 1974.

Jesse Welsh
RECORDER

Jewell Callaway
DEPUTY

SURVEYOR'S CERTIFICATION

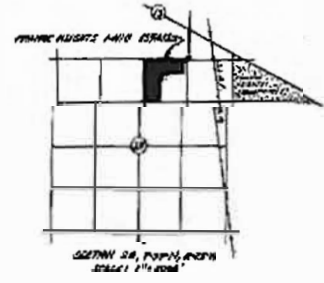
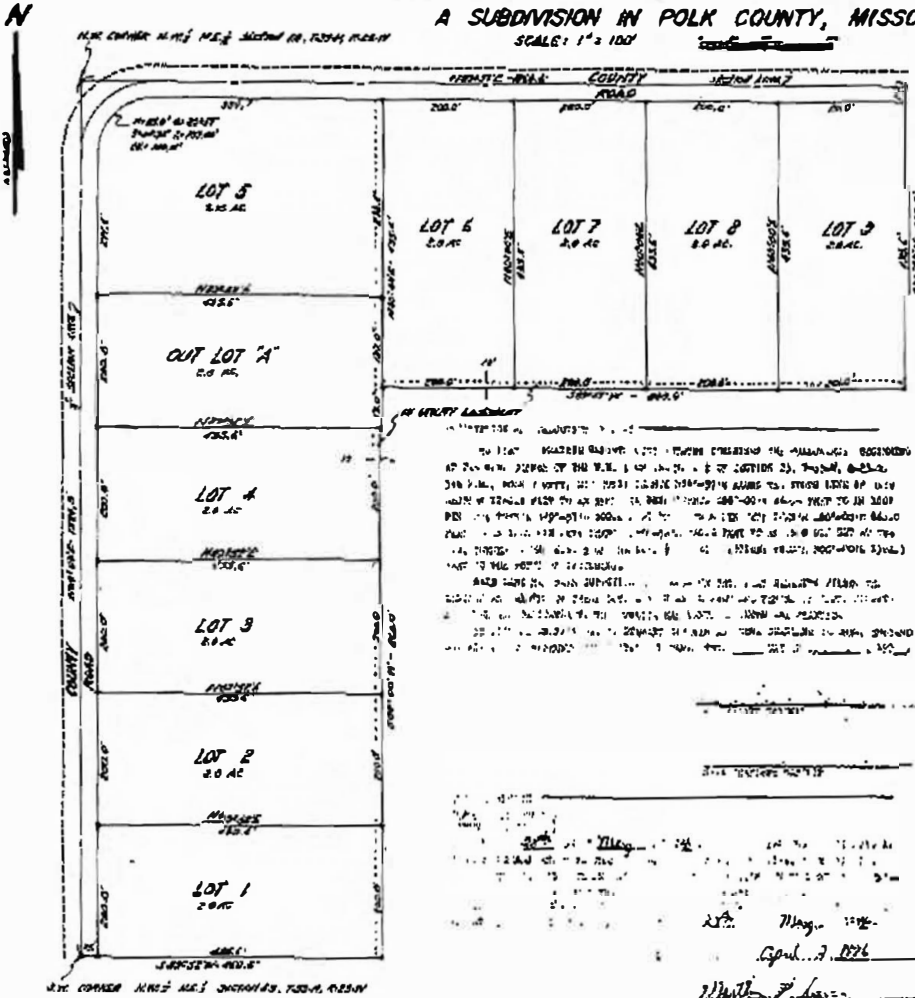
I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED TRACT OF LAND AND SUBDIVIDED THE SAME AS SHOWN ON THIS PLAT. I HAVE SET IRON PINS AT ALL LOT CORNERS.

Ronald A. Lynch
RONALD A. LYNCH LS 1564
413 S. Springfield, Bolivar, MO 65613
Phone: 417-326-2379

PRAIRIE HEIGHTS MINI ESTATES

A SUBDIVISION IN POLK COUNTY, MISSOURI

SCALE: 1" = 100'



RECORDS

1. NO LOT SHALL BE SUBDIVIDED INTO SMALLER LOTS.
2. THERE SHALL BE SUFFICIENT TO MAINTAIN THE MINIMUM LOT AREA AND FRONTAGE AND ALLEYS.
3. BRICKS AND APPROVED CONCRETE ARE REQUIRED TO A MINIMUM OF 2000 SQUARE FEET OF COVERED AREA.
4. ALL UTILITIES SHALL BE ALIGNED.

§ 1481

IN THE RECORDS OFFICE OF POLK COUNTY, MISSOURI, I HAVE THIS DAY DEPOSITED FOR RECORD THE ABOVE INSTRUMENT OF RECORD AND OF THE 28th DAY OF May 1976 AND OF 2 O'CLOCK P.M. OF SAID DAY AND HAVE BEEN VERIFIED AND RECORDED IN THE BOOK OF THIS OFFICE IN BOOK 2 OF PAGE 53.

IN WITNESS WHEREOF I HAVE SIGNED AND AFFIXED MY SEAL AS CLERK OF POLK COUNTY, MISSOURI, THIS 28th DAY OF May 1976.

James White
 CLERK

James Collins
 S.E.

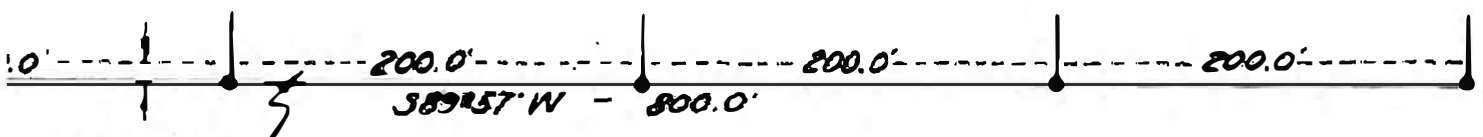
I HEREBY CERTIFY THAT I HAVE REVIEWED THE ABOVE INSTRUMENT AND THAT IT IS A TRUE AND CORRECT COPY OF THE ORIGINAL AND THAT I HAVE THE SIGNATURE OF ALL THE PARTIES.

Ronald A. Lynd
 RONALD A. LYND, CLERK
 417 S. SPRINGFIELD, BETHLEHEM, MO 64603
 PHONE (816) 683-6339

Witness
 May 27 1976
 April 7 1976
 [Signature]

Row
 355 / 700
 4/13/74

CCR w/ Plat



ITY EASEMENT

DESCRIPTION AND EXECUTION OF PLAT

THE PLAT OF PRAIRIE HEIGHTS MINI ESTATES COMPRISES THE FOLLOWING: BEGINNING AT THE N.W. CORNER OF THE N.W. $\frac{1}{4}$ OF THE N.E. $\frac{1}{4}$ OF SECTION 23, T-33-N, R-23-W, 5th P.M., POLK COUNTY, MISSOURI; THENCE N89°-57'E ALONG THE NORTH LINE OF SAID SECTION 1260.6 FEET TO AN IRON PIN SET; THENCE S00°-00'W 460.6 FEET TO AN IRON PIN SET; THENCE S89°-57'W 800.0 FEET TO AN IRON PIN SET; THENCE S00°-00'W 863.0 FEET TO AN IRON PIN SET; THENCE S89°-52'W 460.6 FEET TO AN IRON PIN SET AT THE S.W. CORNER OF THE N.W. $\frac{1}{4}$ OF THE N.E. $\frac{1}{4}$ OF SAID SECTION; THENCE N00°-00'E 1324.3 FEET TO THE POINT OF BEGINNING.

SAID LAND HAS BEEN SUBDIVIDED AS SHOWN ON THIS PLAT HEREWITH FILED. THE LENGTHS AND WIDTHS OF THESE LOTS ARE SHOWN IN FEET AND TENTHS OF FEET. STREETS AS SHOWN ARE DEDICATED TO THE PUBLIC. EASEMENTS AS SHOWN ARE GRANTED.

IN WITNESS WHEREOF WE, A. STEWART GARDNER AND NEVA CHARLENE GARDNER, HUSBAND AND WIFE, HAVE HEREUNTO SIGNED OUR NAMES THIS _____ DAY OF _____, 197__.

A. Stewart Gardner

 A. STEWART GARDNER

Neva Charlene Gardner

 NEVA CHARLENE GARDNER

SECTION 29, T-33-N, R-23-W }
SCALE: 1" = 2000'

RESTRICTIONS

1. NO LOT SHALL BE SUBDIVIDED INTO SMALLER LOTS.
2. THESE LOTS ARE RESTRICTED TO RESIDENTIAL USES ONLY AND NO COMMERCIAL ESTABLISHMENTS ARE ALLOWED.
3. HOUSES AND ATTACHED GARAGES ARE LIMITED TO A MINIMUM OF 1800 SQUARE FEET OF COMBINED AREA.
4. NO MOBILE HOMES ARE ALLOWED.

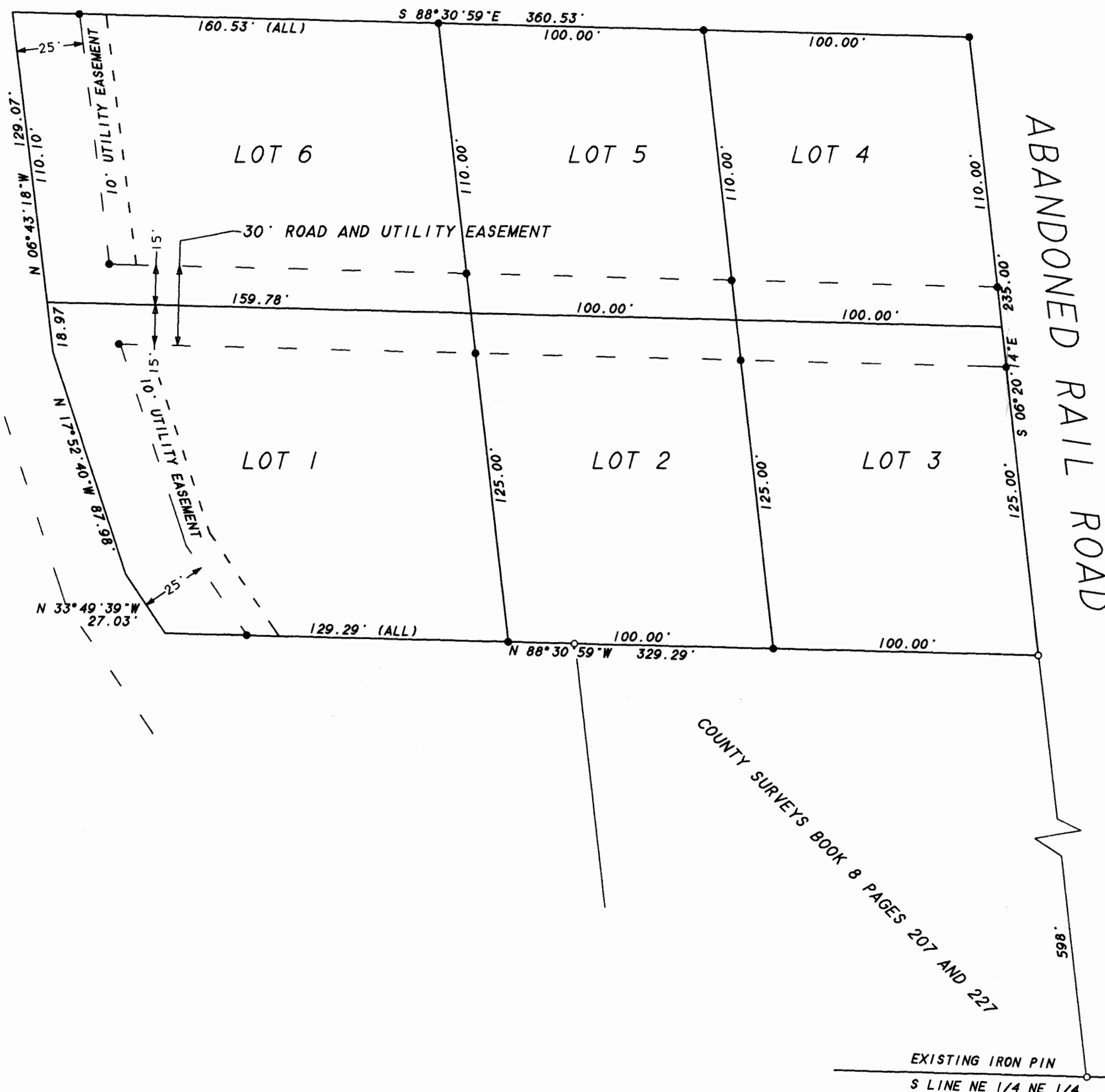
1401

FINAL PLAT OF
PRAIRIE LANE ESTATES
 A SUBDIVISION. IN POLK COUNTY, MISSOURI

GRID NORTH FROM
 COUNTY SURVEY
 BOOK 8, PAGE 207
 SCALE 1" = 40'
 0 20 40 80

○ - EXISTING IRON PIN
 ● - IRON PIN SET

ROAD
 EASEMENT
 AND
 UTILITY
 EASEMENT



DESCRIPTION

THIS PLAT COMPRISES THE FOLLOWING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 23, TOWNSHIP 33 N., RANGE 23 W., BEGINNING WHERE THE WEST RIGHT OF WAY LINE OF THE RAIL-ROAD INTERSECTS THE SOUTH LINE OF SAID NE 1/4 OF THE NE 1/4, THENCE NORTHWESTERLY ALONG SAID RIGHT OF WAY 598 FEET TO THE TRUE POINT OF BEGINNING, THENCE N 06°20'14"W ALONG SAID RIGHT OF WAY 235.00', THENCE N 88°30'59"W 360.53', TO THE CENTER OF THE ROAD EASEMENT, THENCE SOUTHERLY ALONG SAID ROAD CENTER-LINE 244.08', THENCE S 88°30'59"E 329.29' TO THE TRUE POINT OF BEGINNING.

EXECUTION OF PLAT

SAID LAND HAS BEEN SUBDIVIDED AS SHOWN ON THIS PLAT HEREWITH FILED. EASEMENTS AS INDICATED ARE HEREBY GRANTED.

IN TESTIMONY WHEREOF, WE HAVE SET OUR HANDS THIS 30th DAY OF October, 1997.

Arvel Gardner Pat Gardner
 ARVEL GARDNER PAT GARDNER

ACKNOWLEDGMENT

STATE OF MISSOURI } ss
 COUNTY OF POLK

ON THIS 30th DAY OF October, 1997 BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CAME ARVEL GARDNER AND PAT GARDNER, HUSBAND AND WIFE, TO ME PERSONALLY KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING AND IN TESTIMONY WHEREOF, I HAVE SET MY HAND AND AFFIXED MY OFFICIAL SEAL AT MY OFFICE IN POLK COUNTY, MISSOURI, ON THE DAY AND DATE FIRST ABOVE WRITTEN.

MY COMMISSION EXPIRES December 28, 1998

NOTARY PUBLIC Sue Entlicher

IN THE RECORDERS OFFICE

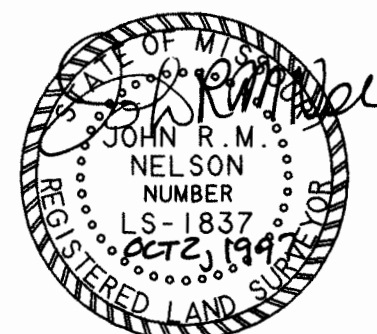
STATE OF MISSOURI } ss # 4811
 COUNTY OF POLK

I, VESTA SEINER, RECORDER OF DEEDS OF SAID COUNTY, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT OF WRITING WAS ON THE 30 DAY OF October, 1997 A.D. AT 9:35 O'CLOCK A. M. DULY FILED FOR RECORD AND IS RECORDED IN THE RECORDS OF THIS OFFICE IN BOOK 7 AT PAGE 86. IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL AT MY OFFICE IN THE CITY OF BOLIVAR, POLK COUNTY, MISSOURI.

Vesta Seiner Maesha Marshall
 RECORDER OF DEEDS DEPUTY

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT SURVEY TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 JOHN R. M. NELSON, RLS 1837, POLK COUNTY SURVEYOR



PREPARED OCTOBER 2, 1997

JOHN R. M. NELSON INC., SURVEYING & ENGINEERING
 RM. 3 COURTHOUSE, BOLIVAR, MO. 65613 (417) 326-2777

Polk County, Missouri

Prairie Lane

Restrictions for Gardner Mobile Home Lots in Section 23, Township 33, Range 23, Polk County, Missouri

1. Minimum size mobile 14' X 70'.
2. Mobile must have wheels, axles and tongue removed and set on concrete, skirted and tied down.
3. Mobiles must be set in a uniform manor and facing the same direction.
4. No commercial livestock or pets. Inside pets limited to one. Outside pets limited to one and must be in a pen, not chained.
5. No junk cars or other debris allowed.
6. No parking in road.

COUNTY SURVEYOR'S RECORD

BOOK 13
PAGE 291

SURVEY NO. CS 13 12291

SURVEY FOR: PATRICK GARDNER

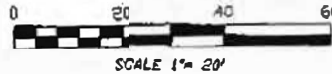
SURVEYOR'S CREW SWORN: KEVIN NELSON JOHN NELSON: NELSON SURVEYING

JULY 18, 2012
DATE OF SURVEY

FIELD NOTES AND PLAT

DESCRIPTION

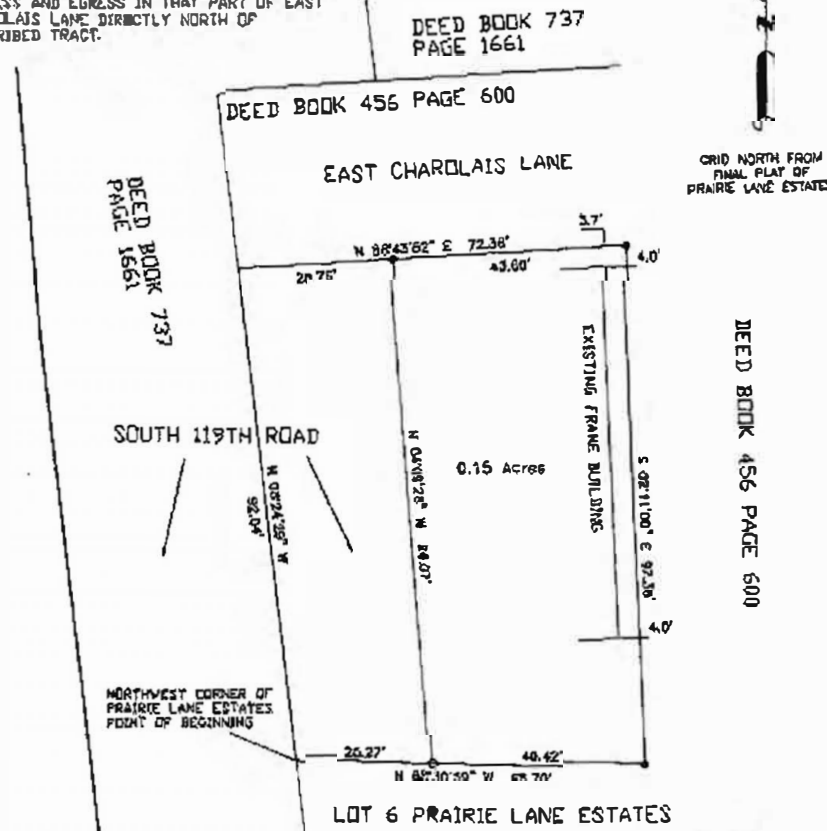
BEGINNING AT THE NORTHWEST CORNER OF FINAL PLAT OF PRAIRIE LANE ESTATES, A SUBDIVISION IN POLK COUNTY MISSOURI, AS RECORDED IN PLAT BOOK 7 AT PAGE 86, THENCE N86°24'29"W 92.04 FEET, THENCE N86°43'52"E 72.36 FEET, THENCE S02°11'00"E 97.36 FEET, THENCE N88°38'59"W 65.70 FEET TO THE POINT OF BEGINNING, AS SHOWN IN SURVEY RECORD BOOK 13 AT PAGE 291 AND AS SURVEYED BY NELSON SURVEYING. SUBJECT TO THAT PART USED FOR ROADS AND EASEMENTS, AND WITH AN EASEMENT FOR INGRESS AND EGRESS IN THAT PART OF EAST CHAROLAIS LANE DIRECTLY NORTH OF DESCRIBED TRACT.



● = SET IRON PIN
○ = EXISTING IRON PIN
(I.S. 1837)



GRID NORTH FROM
FINAL PLAT OF
PRAIRIE LANE ESTATES



CERTIFICATION

THIS IS TO CERTIFY THAT I, JOHN R.M. NELSON, POLK COUNTY SURVEYOR, HAVE MADE THIS SURVEY AND FOUND CONDITIONS AS INDICATED, THIS DONE IN ACCORDANCE WITH THE CURRENT MINIMUM SURVEY STANDARDS. TYPE URBAN PROPERTY.

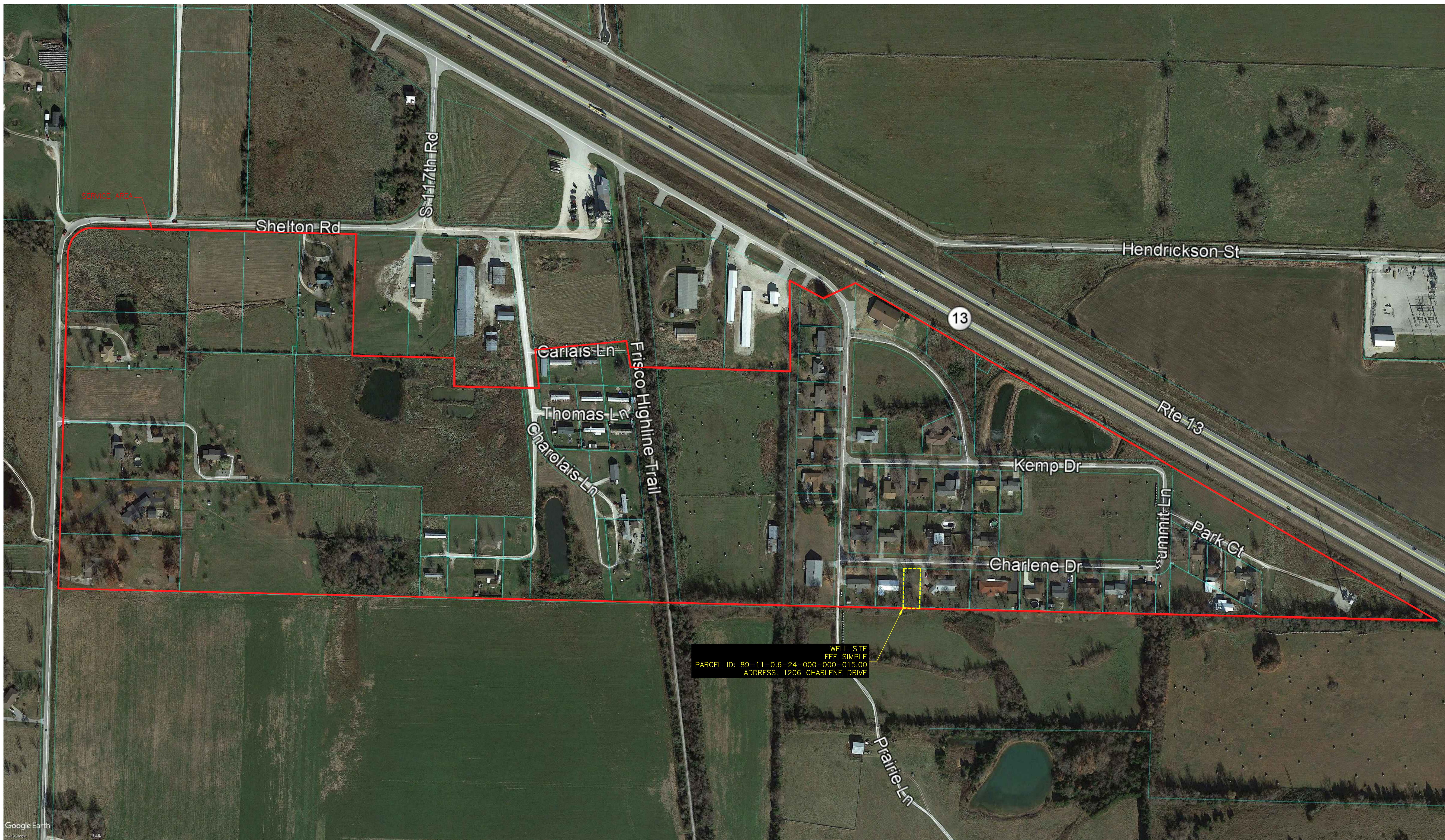
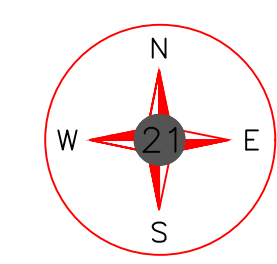
JOHN R.M. NELSON PLS 1837
POLK COUNTY SURVEYOR

John R.M. Nelson
7-26-12

NELSON SURVEYING
201 TVDR MO 417-326-2777



**ROUGH SERVICE AREA MAP
PRAIRIE HEIGHTS
(WATER)
BOLIVAR, MO**



WELL SITE
FEE SIMPLE
PARCEL ID: 89-11-0.6-24-000-000-015.00
ADDRESS: 1206 CHARLENE DRIVE

Google Earth

Customer List

The service area shown hereon are depicted based on the customer list provided by the system manager. 21 Design Group, Inc performed no field verification of the layout and are unable to determine the exact location at this time. The location represents approximate location only and should not be construed as being 100% accurate. It is shown to provide general service area of the system to assist with ordering title work and preparation of scope for a License Land Surveyor. This sketch should not be used to interpret encroachments.

DATE:	01/22/20
PROJECT NO:	0596-19
DRAWN BY:	B.J.K.
SCALE:	
SHEET NAME:	SERVICE AREA MAP



1351 Jefferson, Suite 301
Washington, MO 63090
mail@21designgroup.net
P: 636-432-5029

**APPENDIX O-C
IS CONFIDENTIAL
IN ITS ENTIRETY**

20 CSR 4240-2.135 (2)(A)(1)

**APPENDIX P-C
IS CONFIDENTIAL
IN ITS ENTIRETY**

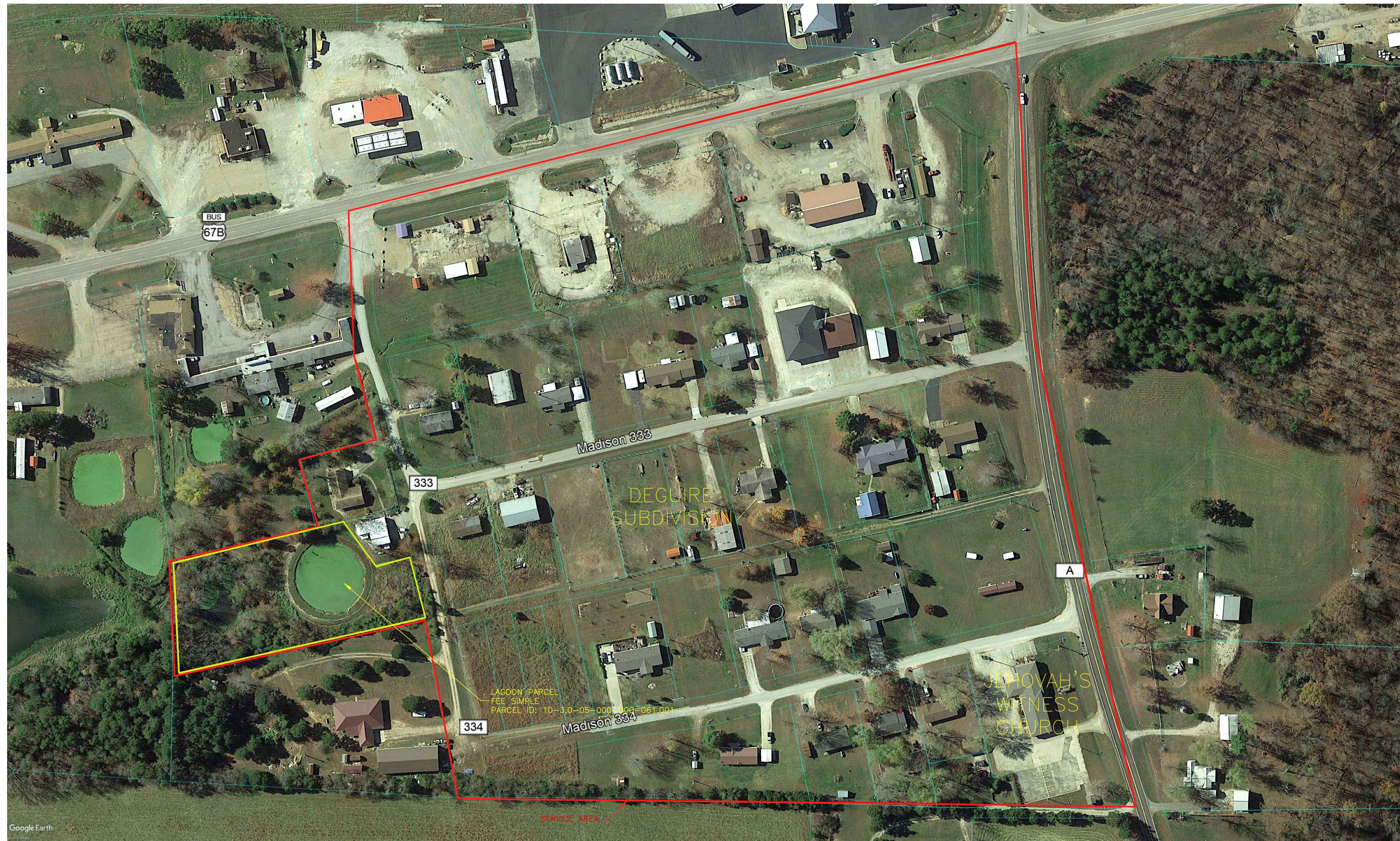
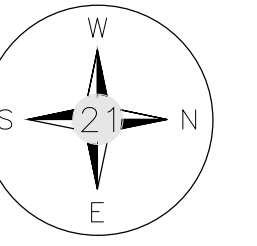
**20 CSR 4240-
2.135 (2)(A)(3) and (6)**

Deguire's Subdivision Service Area Description:

The area served is part of Madison County, Missouri and is more particularly described as follows:

Beginning at the southwest corner of Lot 1 of Block A of Deguire's Subdivision; thence N15°23'00"W 50.80 feet; thence N36°11'00"E 65.00 feet; thence N86°07'00"E 86.80 feet; thence along a curve deflecting to the left having a radius of 3537.90 feet, an arc length of 328.06 feet and a chord course of N83°27'37"E 327.94 feet to the northwest corner of Lot 1 of Block B of Deguire's Subdivision; thence N69°54'00"E 258.90 feet; thence along a curve deflecting to the left having a radius of 3497.90 feet, an arc length of 360.80 feet and a chord course of N73°27'25"E 360.64 feet; thence N77°08'43"E 136.54 feet; thence S0°23'00"E 1057.90 feet; thence S74°37'00"W 281.20 feet; thence S15°23'00"E 430.24 feet; thence S85°37'00"W 193.51 feet; thence N15°23'00"W 248.86 feet; thence S74°37'00"W 130.05 feet; thence N15°23'00"W 144.45 feet; thence S74°37'00"W 350.00 feet; thence N15°23'00"W 921.60 feet; thence N74°37'00"E 10.00 feet; thence N15°23'00"W 54.20 feet to the point of beginning.

**ROUGH SERVICE AREA MAP
DEGUIRE SUBDIVISION
(WASTEWATER)
FREDERICKTOWN, MO**



APPENDIX R

Utility Note Disclaimer

The service area shown hereon are depicted based on the service area description provided by the system manager. 21 Design Group, Inc performed no field verification of the layout and are unable to determine the exact location at this time. The location represents approximate location only and should not be construed as being 100% accurate. It is shown to provide general service area of the system to assist with ordering title work and preparation of scope for a License Land Surveyor. This sketch should not be used to interpret encroachments.

DATE:	11/14/2019
PROJECT NO:	0596-19
DRAWN BY:	B.J.K.
SCALE:	
SHEET NAME:	SERVICE AREA MAP



1351 Jefferson, Suite 301
Washington, MO 63090
mail@21designgroup.net
P: 636-432-5029

**APPENDIX S-C
IS CONFIDENTIAL
IN ITS ENTIRETY**

20 CSR 4240-2.135 (2)(A)(1)

Project No. 0369-17

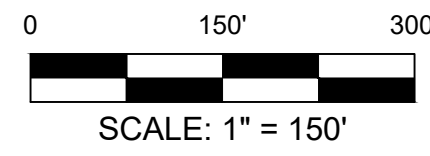
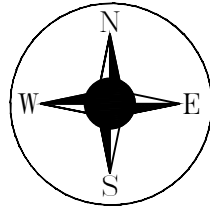
Villa Ridge Estates- Utility Area Serviced Description

February 15, 2019

The area served consists of part of the West Half of the Northwest Quarter of Section 23; part of the East Half of the Northeast Quarter of Section 22; and part of the Southwest Quarter of the Northeast Quarter of Section 22, all in Township 43 North, Range 1 East of the 5th P.M., Franklin County, Missouri and being more particularly described as follows:

Beginning at the northeast corner of Bridgewater Estates Phase Four; thence $S1^{\circ}35'53''W$ 2355.88 feet to the southeast corner of Bridgewater Estates; thence along the south line of Bridgewater Estates along a curve deflecting to the right having a radius of 915.37 feet, an arc length of 83.17 feet and a chord course of $S87^{\circ}48'57''W$ 83.14 feet; thence $N0^{\circ}25'07''E$ 10.00 feet; thence along a curve deflecting to the right having a radius of 905.37 feet, an arc length of 100.05 feet and a chord course of $N86^{\circ}24'56''W$ 100.00 feet; thence $N83^{\circ}14'59''W$ 111.00 feet; thence $S6^{\circ}45'01''W$ 5.00 feet; thence $N83^{\circ}14'59''W$ 619.16 feet; thence $N6^{\circ}45'01''E$ 35.00 feet; thence $N83^{\circ}14'59''W$ 425.00 feet; thence along a curve deflecting to the left having a radius of 648.70 feet, an arc length of 241.39 feet and a chord course of $S86^{\circ}05'24''W$ 240.00 feet; thence $S14^{\circ}34'13''E$ 30.00 feet; thence along a curve deflecting to the left having a radius of 618.70 feet, an arc length of 492.52 feet and a chord course of $S52^{\circ}37'28''W$ 479.62 feet; thence $N85^{\circ}45'47''W$ 168.72 feet to the southwest corner of Bridgewater Estates; thence $N86^{\circ}11'44''W$ 407.87 feet; thence $N85^{\circ}56'00''W$ 218.90 feet to the east right-of-way line of Rock Bridge Road; thence along said west right-of-way line along a curve deflecting to the left having a radius of 329.68 feet, an arc length of 216.76 feet and a chord course of $N20^{\circ}19'18''E$ 212.88 feet; thence $N1^{\circ}30'00''E$ 152.40 feet; thence leaving said west right-of-way line $N88^{\circ}30'00''W$ 45.00 feet, more or less, to the southeast corner of Lot 20 per Surveyor's Record 9 Page 287; thence along the south line of said Lot 20, $N72^{\circ}22'32''W$ 206.58 feet to the intersection of said south line with the centerline of a creek; thence along said centerline $N12^{\circ}54'53''W$ 88.64 feet; thence $N49^{\circ}06'35''E$ 43.13 feet; thence $S89^{\circ}50'12''E$ 75.74 feet; thence $N66^{\circ}04'40''E$ 31.85 feet; thence $N27^{\circ}04'11''E$ 43.09 feet to the intersection of said creek centerline with the north line of Lot 20 per Surveyor's Record 9 Page 287; thence along said north line $S72^{\circ}18'02''E$ 66.70 feet to the northeast corner of said Lot 20; thence $S88^{\circ}30'00''E$ 45.00 feet, more or less, to the east right-of-way line of Rock Bridge Road; thence along said east right-of-way line $N1^{\circ}30'00''E$ 1436.28 feet to the intersection of said east right-of-way line of Rock Bridge Road with the southeast right-of-way line of Missouri State Highway "M"; thence along said southeast right-of-way line $N37^{\circ}01'26''E$ 768.58 feet; thence $N37^{\circ}23'33''E$ 403.09 feet; thence along a curve deflecting to the left having a radius of 1366.33 feet, an arc length of 152.77 feet and a chord course of $N34^{\circ}11'22''E$ 152.69 feet to the northwest corner of Lot 82 of Bridgewater Estates Phase Three; thence leaving said southeast right-of-way line along the north line of said Bridgewater Estates Phase Three and Bridgewater Estates Phase Four, $S58^{\circ}50'32''E$ 150.20 feet; thence $S8^{\circ}17'34''E$ 206.68 feet; thence $S34^{\circ}17'55''W$ 70.33 feet; thence $S8^{\circ}16'03''W$ 56.61 feet; thence $S1^{\circ}06'53''W$ 62.49 feet; thence $S49^{\circ}53'05''W$ 21.45 feet; thence $S86^{\circ}04'26''E$ 468.92 feet; thence $S85^{\circ}58'04''E$ 1326.92 feet to the point of beginning.

Appendix T



Tariff Service Area Description:

The East Half of the Northeast Quarter in Section Twenty-Two (22), lying North of Missouri State Highway "AT" (formerly U.S. Highway No. 50-66) and Southeast of Missouri State Highway "M". All that part of the West Half of the Northwest Quarter in Section Twenty-Three (23), lying North of Missouri State Highway "AT" (formerly U.S. Highway No. 50-66).

All in Township Forty-Three (43) North, Range One (1) East of the 5th P.M., containing in the aggregate 148.40 acres, according to plat of survey by E.F. Kappelman, Registered Land Surveyor, made during month of June, 1973.

In addition to the above, the following land which adjoins the above is included and on which the sewer plant itself is expected to be put, to-wit:

Lot Twenty (20) of the Subdivision of the West Half of the Northeast Quarter of Section Twenty-Two (22), Township Forty-Three (43) North, Range One (1) East of the 5th P.M., as per survey by John C. Smith, County Surveyor, on April 13, 1931, of record in Surveyor's Record 9, Page 287.

Subject to easements, restrictions and conditions of record.

Utility Area Served Description:

The area served consists of part of the West Half of the Northwest Quarter of Section 23; part of the East Half of the Northeast Quarter of Section 22; and part of the Southwest Quarter of the Northeast Quarter of Section 22, all in Township 43 North, Range 1 East of the 5th P.M., Franklin County, Missouri and being more particularly described as follows:

Beginning at the northeast corner of Bridgewater Estates Phase Four; thence S1°35'53"W 2355.88 feet to the southeast corner of Bridgewater Estates; thence along the south line of Bridgewater Estates along a curve deflecting to the right having a radius of 915.37 feet, an arc length of 83.17 feet and a chord course of S87°48'57"W 83.14 feet; thence N0°25'07"E 10.00 feet; thence along a curve deflecting to the right having a radius of 905.37 feet, an arc length of 100.05 feet and a chord course of N86°24'56"W 100.00 feet; thence N85°14'59"W 111.00 feet; thence S6°45'01"W 5.00 feet; thence N83°14'59"W 619.16 feet; thence N6°45'01"E 35.00 feet; thence N83°14'59"W 425.00 feet; thence along a curve deflecting to the left having a radius of 648.70 feet, an arc length of 241.39 feet and a chord course of S86°05'24"W 240.00 feet; thence S14°34'13"E 30.00 feet; thence along a curve deflecting to the left having a radius of 618.70 feet, an arc length of 492.52 feet and a chord course of S52°37'28"W 479.62 feet; thence N85°45'47"W 168.72 feet to the southwest corner of Bridgewater Estates; thence N86°11'44"W 407.87 feet; thence N85°56'00"W 218.90 feet to the east right-of-way line of Rock Bridge Road; thence along said west right-of-way line along a curve deflecting to the left having a radius of 329.68 feet, an arc length of 216.76 feet and a chord course of N20°19'18"E 212.88 feet; thence N1°30'00"E 152.40 feet; thence leaving said west right-of-way line N88°30'00"W 45.00 feet, more or less, to the southeast corner of Lot 20 per Surveyor's Record 9 Page 287; thence along the south line of said Lot 20, N72°23'32"W 204.58 feet to the intersection of said south line with the centerline of a creek; thence along said centerline N12°54'53"W 88.64 feet; thence N49°06'35"E 43.13 feet; thence S89°50'12"E 75.74 feet; thence N66°04'40"E 31.85 feet; thence N27°04'11"E 43.09 feet to the intersection of said creek centerline with the north line of Lot 20 per Surveyor's Record 9 Page 287; thence along said north line S72°18'02"E 66.70 feet to the northeast corner of said Lot 20; thence S85°30'00"E 45.00 feet, more or less, to the east right-of-way line of Rock Bridge Road; thence along said east right-of-way line N1°30'00"E 1436.28 feet to the intersection of said east right-of-way line of Rock Bridge Road with the southeast right-of-way line of Missouri State Highway "M"; thence leaving said intersection N15°54'41"W 100.26 feet to the northwest right-of-way line of Missouri State Highway "M"; thence leaving said northwest right-of-way line N1°30'00"E 333.60 feet; thence N41°48'40"E 279.12 feet; thence S85°17'36"E 296.46 feet to the southeast right-of-way line of Missouri State Highway "M"; thence along said southeast right-of-way line N37°23'33"E 403.09 feet; thence along a curve deflecting to the left having a radius of 1366.33 feet, an arc length of 152.77 feet and a chord course of N34°11'22"E 152.69 feet to the northwest corner of Lot 92 of Bridgewater Estates Phase Three; thence leaving said southeast right-of-way line along the north line of said Bridgewater Estates Phase Three and Bridgewater Estates Phase Four, S58°50'32"E 150.20 feet; thence S81°7'34"E 206.68 feet; thence S34°17'55"W 70.33 feet; thence S81°6'03"W 56.61 feet; thence S1°06'53"W 62.49 feet; thence S49°53'05"W 21.45 feet; thence S86°04'26"E 468.92 feet; thence S85°58'04"E 1326.92 feet to the point of beginning.

SERVICE AREA MAP FOR VILLA RIDGE ESTATES



**APPENDIX V-C
IS CONFIDENTIAL
IN ITS ENTIRETY**

20 CSR 4240-2.135 (2)(A)(1)

Pro-Forma Balance Sheet - Confluence Rivers Utility Operating Company, LLC

Pro Forma

	Confluence Rivers UOC	Terre Du Lac Water & Sewer Acquisition	Branson Cedars Water & Sewer Acquisition	Confluence Rivers UOC Post Acquisition
--	-----------------------	---	---	---

ASSETS

Utility Plant In Service:

Total Plant in Service*
 Construction Work in Progress**
 Utility Plant Acquisition Adjustment
 Less: Depreciation Reserve
 Net Plant In Service

Non-Utility Property

Current Assets:

Cash and Cash Equivalents
 Other
 Current Assets

Deferred Debits:

Deferred Debits

Other Investments and Long-Term Assets

Total Assets

LIABILITIES AND CAPITALIZATION

Company Capitalization:

Common Stock Equity, Net
 Long-term Debt (including current maturities)
 Company Capitalization

Current Liabilities:

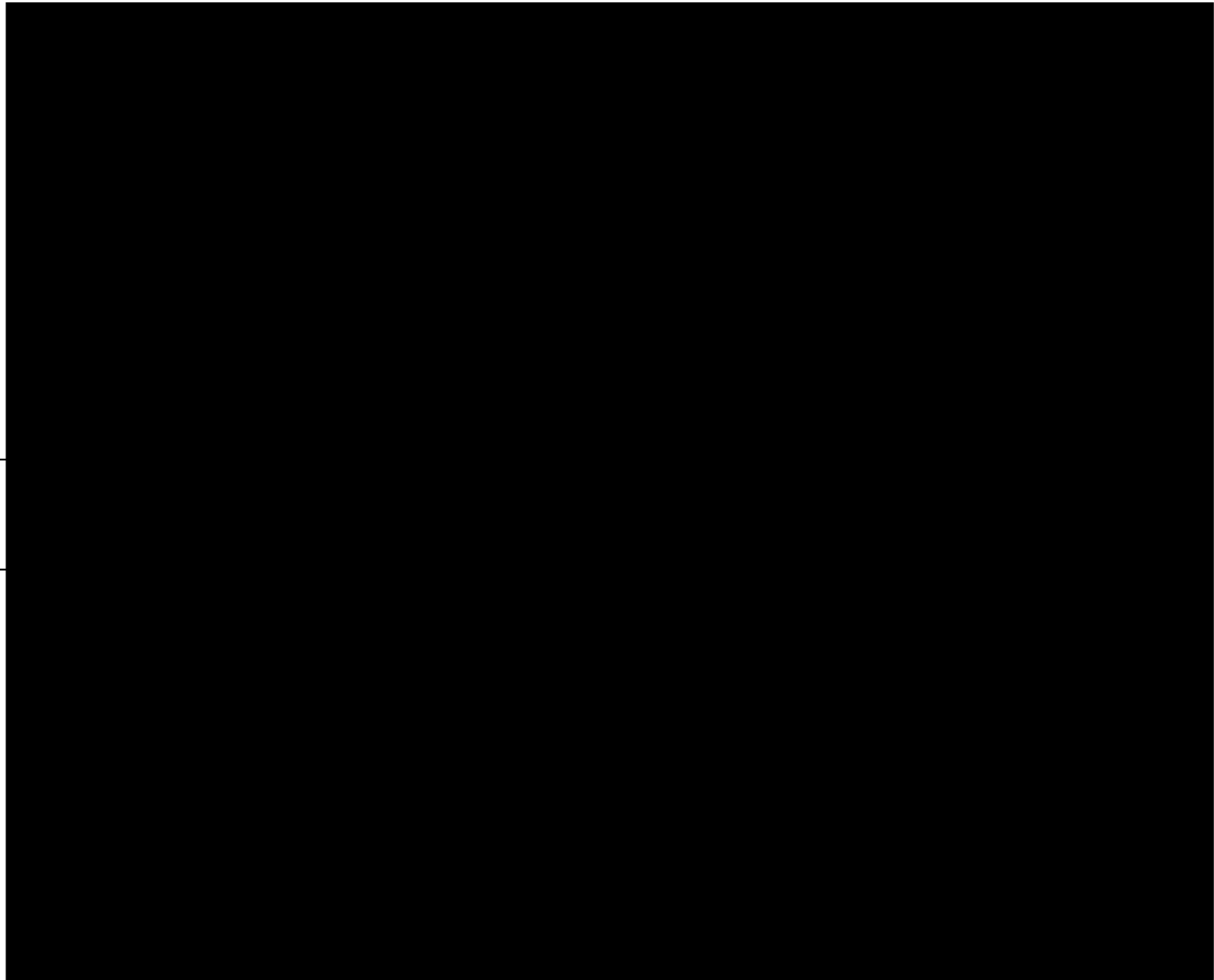
Current Liabilities

Deferred Credits:

Deferred Credits

Contributions in Aid of Construction

Total Capitalization and Liabilities



Pro-Forma Income Statement - Confluence Rivers Utility Operating Company, LLC

Pro Forma

	Confluence Rivers UOC	Terre Du Lac Water & Sewer Acquisition	Branson Cedars Water & Sewer Acquisition	Confluence Rivers UOC Post Acquisition
<u>Operating Revenues</u>				
<u>Operating Expenses:</u>				
Operating and Maintenance Expenses				
Depreciation and Amortization Expenses				
Taxes, Other than Income Taxes				
Operating Expenses				
Net Operating Income				
<u>Other Income and Deductions:</u>				
Total Other Income and Deduction				
Income (Loss) Before Income Taxes				
State Income Taxes				
Federal Income Taxes				
Net Income				

*Reflects Purchase Price or Depreciated Original Cost Engineering Value

**Estimated total of Engineering & Permitting Costs at Time of Acquisition

Fawn Lake *

WACC Proj Cash Flow Statement

Loan Month	0	12	24	
Income:	Year 0	Year 1	Year 2	Year 3
Customer Revenue				
Commercial Revenue				
Less: Delinquent Collections				
Adjusted Gross Income				
Operating Expenses:				
Total Operating Expense				
Total Water Expense				
Common Area Maintenance				
Electric				
Testing				
Insurance				
Sewer Co Admin				
WWTP Operating Profits				
Total Non-Reimbursable Expenses				
Net Operating Income				
Structural Reserve Expenses				
LLC Accounting Expense				
Cash Flow from Operations				
Financing:				
Total Cost of Project:				
Loan Principal				
Interest				
Loan Balance				
Cash Flow after Financing				
Depreciation - 7 yrs:				
Depreciation - 15 yrs:				
Depreciation - 39 years:				
Depreciation - Struct. Reserve				
Total Depreciation				
Taxable Income				
Pre-Tax Cash Flow				
Tax Expense:				
Net Cash Flow				

*Uses estimates assuming rate increases

Freeman Hills *

WACC Proj Cash Flow Statement

Loan Month	0	12	24	
	Year 0	Year 1	Year 2	Year 3
Income:				
Customer Revenue				
Commercial Revenue				
Less: Delinquent Collections				
Adjusted Gross Income				
Operating Expenses:				
Total Operating Expense				
Total Water Expense				
Common Area Maintenance				
Electric				
Testing				
Insurance				
Sewer Co Admin				
WWTP Operating Profits				
Total Non-Reimbursable Expenses				
Net Operating Income				
Structural Reserve Expenses				
LLC Accounting Expense				
Cash Flow from Operations				
Financing:				
Total Cost of Project:				
Loan Principal				
Interest				
Loan Balance				
Cash Flow after Financing				
Depreciation - 7 yrs:				
Depreciation - 15 yrs:				
Depreciation - 39 years:				
Depreciation - Struct. Reserve				
Total Depreciation				
Taxable Income				
Pre-Tax Cash Flow				
Tax Expense:				
Net Cash Flow				

*Uses estimates assuming rate increases

Prairie Heights *

WACC Proj Cash Flow Statement

Loan Month	0	12	24	
	Year 0	Year 1	Year 2	Year 3
Income:				
Customer Revenue				
Commercial Revenue				
Less: Delinquent Collections				
Adjusted Gross Income				
Operating Expenses:				
Total Operating Expense				
Total Water Expense				
Common Area Maintenance				
Electric				
Testing				
Insurance				
Sewer Co Admin				
WWTP Operating Profits				
Total Non-Reimbursable Expenses				
Net Operating Income				
Structural Reserve Expenses				
LLC Accounting Expense				
Cash Flow from Operations				
Financing:				
Total Cost of Project:				
Loan Principal				
Interest				
Loan Balance				
Cash Flow after Financing				
Depreciation - 7 yrs:				
Depreciation - 15 yrs:				
Depreciation - 39 years:				
Depreciation - Struct. Reserve				
Total Depreciation				
Taxable Income				
Pre-Tax Cash Flow				
Tax Expense:				
Net Cash Flow				

*Uses estimates assuming rate increases

DeGuire Subdivision *

WACC Proj Cash Flow Statement

Loan Month	0	12	24	
	Year 0	Year 1	Year 2	Year 3
Income:				
Customer Revenue				
Commercial Revenue				
Less: Delinquent Collections				
Adjusted Gross Income				
Operating Expenses:				
Total Operating Expense				
Total Water Expense				
Common Area Maintenance				
Electric				
Testing				
Insurance				
Sewer Co Admin				
WWTP Operating Profits				
Total Non-Reimbursable Expenses				
Net Operating Income				
Structural Reserve Expenses				
LLC Accounting Expense				
Cash Flow from Operations				
Financing:				
Total Cost of Project:				
Loan Principal				
Interest				
Loan Balance				
Cash Flow after Financing				
Depreciation - 7 yrs:				
Depreciation - 15 yrs:				
Depreciation - 39 years:				
Depreciation - Struct. Reserve				
Total Depreciation				
Taxable Income				
Pre-Tax Cash Flow				
Tax Expense:				
Net Cash Flow				

*Uses estimates assuming rate increases